

New Residential Construction BUILDING PERMIT APPLICATION CHECKLIST

This handout is a **guide** only and does not contain all of the requirements of the Minnesota State Building Code or City Ordinances.

To facilitate both your building project and the City's Citizenserve electronic permit approval process, uploads for a building permit should be complete at the time of application. You'll be asked to upload a complete set of plans, specifications and submittal documents as explained below:

- Certificate of Survey (show proposed building structure and elevations, and % of impervious surface coverage).
- Complete Building Plans (foundation plan, floor plans, building elevations, and cross sections drawn to scale). Headers and beams sizes must show on plans. R-values must be provided for entire building envelope.
- New Construction Energy Code N1101.8 Compliance Certificate (see attached).
- A radon detail showing how the radon system will be installed in the home.
- Erosion Control for Homebuilders and Small Construction Sites form (attached). Pictures should show all erosion control is in place (silt fence/bio-rolls, rock entrance and inlet protection). *Also include any existing sidewalk conditions in this group.* Please state specifically (not just photos) if there is any damage to the sidewalk.

Permits will NOT be issued until erosion control AND existing sidewalk conditions photos are in.

- Any other information deemed necessary by the City and/or Building Inspector to ensure code compliance.

Permit review time depends on the complexity of the work and the completeness of the plan submittals. New residential construction permits typically take 7-10 business days for approval. Contact the City of Buffalo at (763) 682-1181 or Metro West Inspections at (763) 479-1720 if you have questions.

City Staff MUST approve the following:

- ◆ Driveway;
- ◆ Sidewalk conditions post-build;
- ◆ Landscape (established seeded turf or sod, and two trees);
- ◆ As-built survey & Certificate of Grade

When you've completed these general lot improvement items and obtained the completed, signed Certificate of Grade and as-built survey, you may upload them into your permit on Citizenserve prior to your final inspection so that you can obtain the Certificate of Occupancy.

Escrow

If these items are not completed, the City will collect escrow as follows:

- \$2500 for Driveway/Sidewalk;
- \$2500 for Landscape (established seeded turf or sod, and two trees);
- \$2500 for As-built survey & Certificate of Grade





CITY OF BUFFALO, MINNESOTA

Irrigation Systems

**Yes! A permit is required to install Irrigation Systems
in the city limits of Buffalo.**

To ensure the City of Buffalo is well-positioned with its aquifers for present and future residents alike, we have an irrigation permitting process.

WHAT DOES THIS MEAN FOR YOU?

First and foremost, all new and existing homes are now required to submit an irrigation permit if the homeowner would like an irrigation system to be installed on their property. Irrigation systems require a separate water meter to be installed as shown on page 2 of this flyer. **NOTE:** Failure to provide proof of irrigation permit may result in fines.

Residential outdoor water use in the US accounts for nearly 8 billion gallons of water each day, mainly for landscape irrigation. Experts estimate that as much as 50 percent of this water is wasted due to overwatering caused by inefficiencies in irrigation methods and systems. WaterSense labeled irrigation controllers can significantly reduce overwatering by applying water only when plants need it.

<https://www.epa.gov/watersense>



IRRIGATION METERS

An irrigation meter is required and must be purchased from the City.

IRRIGATION CONTROLLERS

The City of Buffalo requires all irrigation systems to utilize EPA WaterSense approved-products for all Irrigation Controllers.

*WaterSense labels two types of irrigation controllers that can help homeowners and businesses make their irrigation scheduling more water-efficient: **weather-based irrigation controllers** use local weather and landscape conditions to tailor watering schedules, and **soil moisture-based irrigation controllers** (also known SMSs) monitor moisture levels in the soil to prevent irrigation when water is not needed.

Both technologies allow watering schedules to better match plants' water needs. With proper installation, programming, and maintenance, homeowners and businesses can use WaterSense labeled controllers instead of clock-based controllers on their irrigation systems, and not worry about wasted water.

SPRINKLER BODIES

*The sprinkler body is the exterior shell that connects to the irrigation system piping and houses the spray nozzle that applies water on the landscape. Some models of sprinkler bodies can control water pressure at the inlet to the nozzle, resulting in effective performance of their associated spray nozzles.

Landscape irrigation sprinklers are often installed at sites where the system pressure is higher than what is recommended for the sprinkler nozzle. This can lead to excessive flow rates, misting, fogging, and uneven coverage.

WaterSense labeled spray sprinkler bodies with integral pressure regulation can reduce water waste by providing a constant flow at the sprinkler nozzle. Additionally, when the sprinkler body maintains a pressure near its optimal operating pressure, the connected nozzle is better able to generate the right amount of water spray and coverage for more uniform distribution of water across the landscape.

As with all WaterSense labeled products, spray sprinkler bodies must be tested and independently certified to ensure that they meet EPA's criteria for efficiency and performance.

* Information regarding Irrigation Controllers and Sprinkler Bodies taken directly from <https://www.epa.gov/watersense>



More Questions?

Contact Us!

permits@ci.buffalo.mn.us

212 Central Avenue, Buffalo MN 55313

Phone 763-682-1181

KNOW AND FOLLOW THESE WATER RESTRICTIONS

Restrictions apply to **ALL**

City of Buffalo businesses and residences, even if you water from a lake, a storm pond, or your City's water source.

To conserve water resources and allow the City's water system flexibility in meeting peak demands, watering restrictions are always in effect from **May 1st – October 1st following an odd-even pattern**. Hours for watering are always **7pm-7 am**. If your home or business address ends in an odd number, water on odd-numbered calendar days; even numbered addresses water on even-numbered days. **Automatic irrigation systems should be adjusted accordingly.**

30-DAY WATERING EXEMPTION

If you have new sod, seed, or landscaping, fill out the exemption form if you wish to water 30 consecutive days. These

forms are available at City Center, on our website: www.ci.buffalo.mn.us or call Cara Hesse at 763-684-5432.

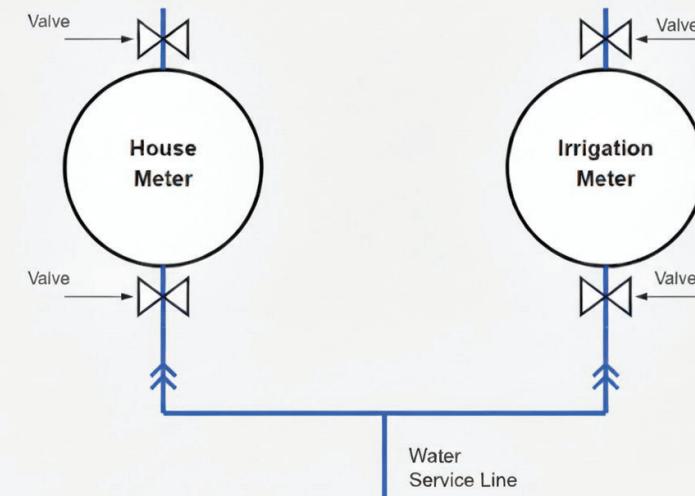
After your 30-Day Exemption is complete, contact Cara Hesse for an evaluation of the lawn condition. If weather and aquifer conditions allow it, there may be a provision for additional time (yes, an additional exemption form will be required). Otherwise, you simply continue with the odd-even watering restrictions according to City Code.

ENFORCEMENT

Please make every effort to conserve water!

Failure to comply with these restrictions will result in a water surcharge on your utility bill. These surcharges increase with each violation. Subsequent violations will result in a surcharge to the monthly utility bill for the property.

Dual Water Meter Configuration



Permits@ci.buffalo.mn.us
212 Central Avenue, Buffalo MN 55313
Phone 763-682-1181





CITY OF BUFFALO, MINNESOTA

EROSION CONTROL FOR HOMEBUILDERS AND SMALL CONSTRUCTION SITES

The building permit holder is responsible for installing and maintaining erosion control measures until the site is fully vegetated.

If disturbing over 1 acre of land (or less than one acre and part of a common plan of development or subdivision) the applicant is responsible for obtaining a state NPDES Permit to Discharge Stormwater from Construction Sites from the MPCA. Documentation of permit coverage must be provided when applying for the building permit.

All Erosion and Sediment Control shall comply with City Ordinances, NPDES, and all other applicable requirements.

Attached is a sample site plan showing the erosion control requirements for homebuilders and small construction sites. Please direct any questions to the City of Buffalo Engineering Department at 763-682-1181.



Minimum Requirements:

- Install perimeter and structure protection devices **BEFORE** excavation begins.
- Install a 3" rock construction entrance (or equivalent) prior to land disturbing activities.
- Maintain and protect all erosion control measures until the site is fully vegetated.
- Inspect the site after all $\frac{1}{2}$ " or more rainfalls and perform repairs within 24 hours of discovery.
- Instruct subcontractors of their responsibility to comply with erosion control measures.

**PICTURES MUST BE UPLOADED INTO CITIZENSERVE
SHOWING CONDITION OF EXISTING SIDEWALK, IF APPLICABLE,
AND THAT ALL EROSION CONTROL DEVICES (SILT FENCE, BIO-ROLLS,
ROCK CONSTRUCTION ENTRANCE AND INLET PROTECTION) ARE IN PLACE
PRIOR TO ISSUANCE OF PERMIT.**

NO BUILDING INSPECTION will be performed or City Services (i.e. water, sewer, electric) will be available without the appropriate erosion control.

APPLICABLE CITY CODES:

Section 38.6 sub B Dumping on Streets (Paraphrased): It is a misdemeanor for any person to throw or deposit any dirt on any street. It is also a violation to place or store any building material or waste resulting from building construction or demolition on any street.

Section 50.356 sub A Drainage Plans (Paraphrased): No land shall be developed and no use shall be permitted that results in water run off causing flooding, erosion or deposit of minerals on adjacent properties.

Site Address: _____

Name of Builder: _____

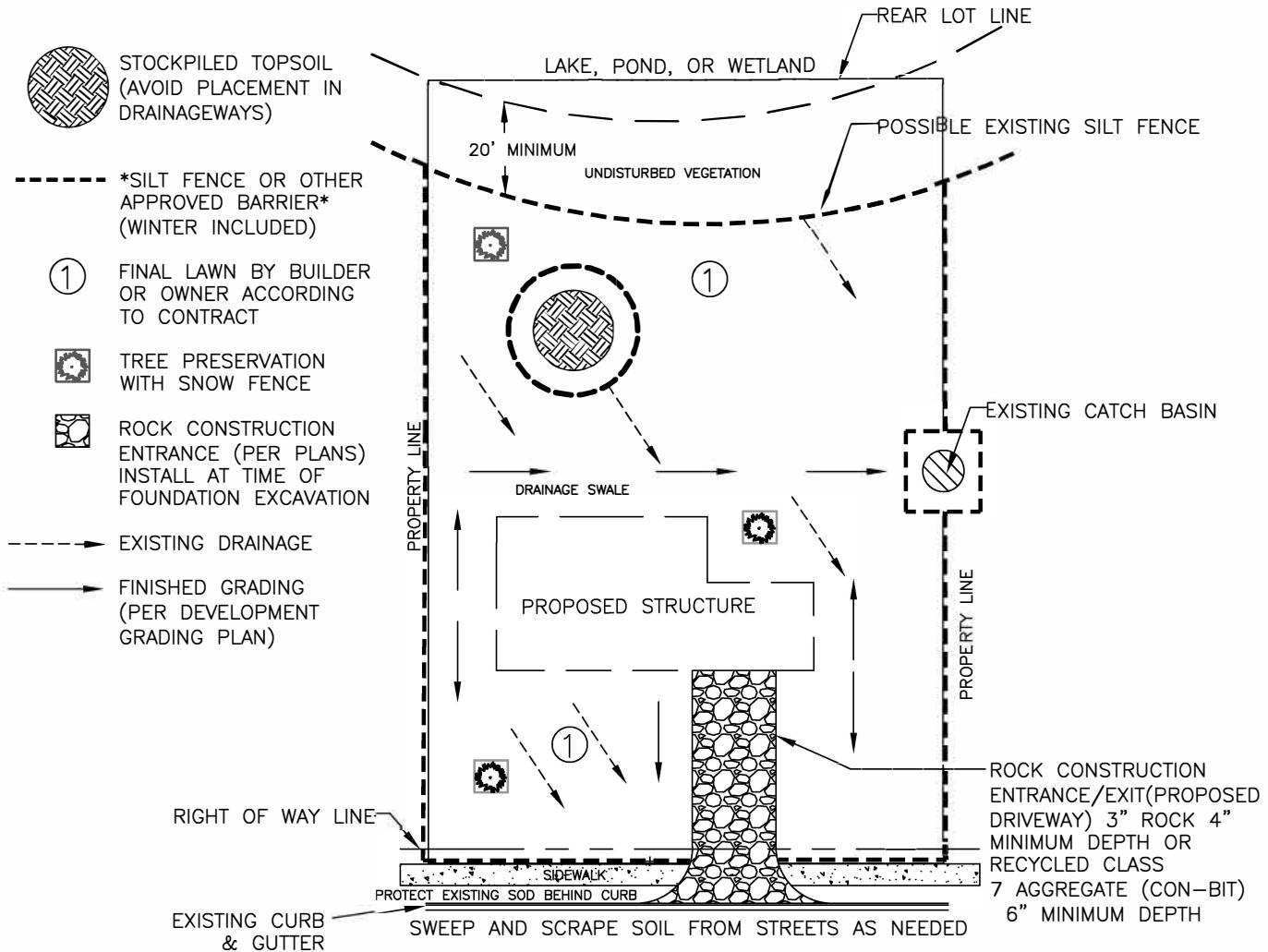
NPDES Permit Number or reason why site is exempt: _____

Phone Number (24 Hour): _____

Name and Signature: _____

Date: _____

LEGEND

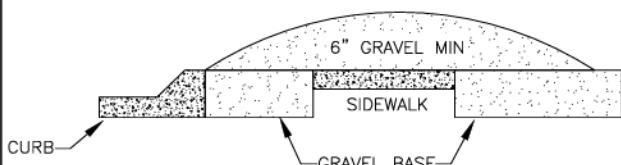


NOTES:

1. WARNING! EXTRA MEASURES MAY BE NEEDED IF YOUR SITE IS WITHIN 200 FEET OF A WATER OF THE STATE, IS STEEP (SLOPES OF 18% OR MORE), AND RECEIVES RUNOFF FROM ADJACENT LAND.
2. ALL EROSION CONTROL MEASURES SHOWN REQUIRE REGULAR MONITORING AND MAINTENANCE.
3. SEDIMENT MUST BE REMOVED FROM BEHIND SILT FENCE BEFORE IT REACHES HALF THE HEIGHT OF THE BARRIER.
4. BREAKS AND GAPS IN SILT FENCE AND BIO-LOGS MUST BE REPAIRED IMMEDIATELY.
5. SEDIMENT THAT MOVES OFFSITE MUST BE CLEANED UP BEFORE THE END OF THE NEXT WORKDAY.

NOT TO SCALE

BUILDER RESPONSIBLE FOR ANY DAMAGED SIDEWALK IN FRONT OF BUILDING SITE. ALL DAMAGED SIDEWALK MUST BE REPLACED BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.



City of Buffalo: Water and Sewer Services (Revised January 2026)

Sewer and Water Installation

Water services are not allowed in the driveway. If the service stub is placed into the lot before home plans are known, it shall be the responsibility of the homeowner or developer to adjust the building plans or to move the water service to enable the property to come into compliance with the City's policy. This must be done before a certificate of occupancy will be issued for the home.

It is the City policy, that the basement/foundation must be capped before installing sewer and water services. The only exemptions to this policy are homes that are slab on grade or a basement/foundation that is walkout. Basements/foundations must be capped from **March 1st through October 15th**, before sewer and water services may be installed. Any services put in before the basement/foundation is capped are in violation of the City ordinance. This has been established to protect the health, safety and integrity of our water and wastewater systems.

Water service lines maybe K copper or AWWA approved blue PE pipe 200 psi. Must be a **minimum of 1 inch CTS (Copper Tube)** in size, larger services must be shown and stated in engineer approved plans.

Sewer service lines must be schedule 40 material, 4 inch in size, unless otherwise stated in engineer approved plans. A cleanout must be at a minimum every 100 lineal feet. The sanitary sewer lateral should be installed 3 feet away from the water lateral, on the sewer downstream side.

Tracer wire must be installed on all sewer service lines. Sanitary sewer services must have a tracer wire attached to the sewer service line, brought up and attached to a sewer tracer wire access box. The tracer wire standard is 12AWG solid CCS with 30 mil HDPE rated 30 volt, direct bury only.

Curbstop boxes and tracer wire access boxes must be protected and kept marked during construction. If a subcontractor damages any of these boxes or service lines, it is the general contractor's responsibility to make sure they are repaired. It is also the general contractor's responsibility to make sure the curbstop boxes and tracer wire access boxes are brought up to final grade. Spoil piles should not be placed on top of curbstop boxes and tracer wire access boxes. Curbstop boxes must be blocked and contain a rod.

Surveys

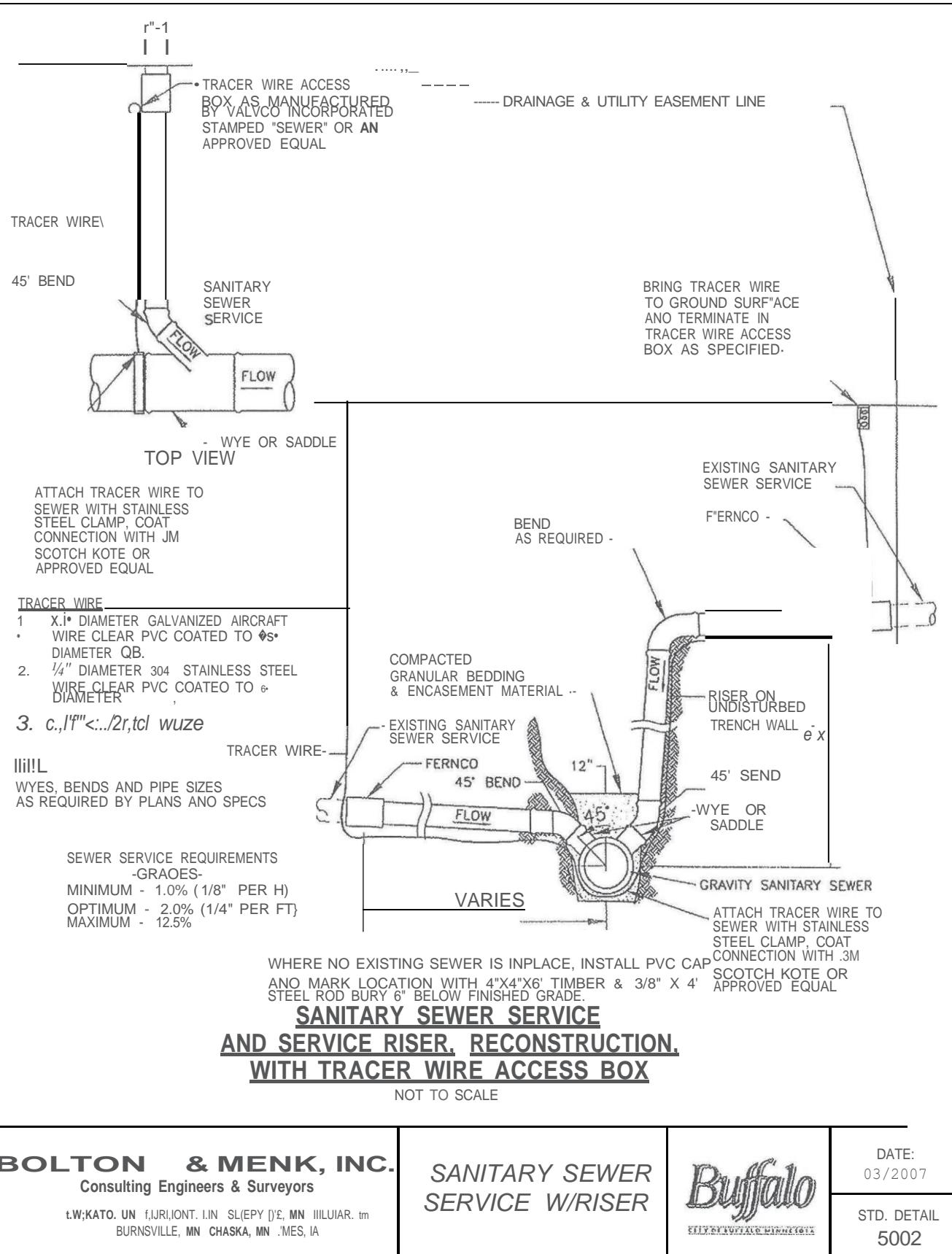
Surveys for water and sewer hookups need to be arranged through the City Center, 763-682-1001. A 24-hour notice is required to ensure a survey at your requested time. **Surveys in NO WAY relieve the contractor from any liability associated with the installation of the service lines, including water leaks.**

Water Meters

Water meters are paid for when the building permit is issued. Residential meters are 3/4". One inch meters are also available and in stock. Any other meters need to be ordered and are subject to a 4-8-week delivery. You will be given a set of couplings and the meter specifications for the meter lay length. Once the couplings have been installed for both the house and irrigation meters and two, **4 strand 18 gauge wires (one wire per meter)** have been run from the meter points to the exterior of the home, near the electric meter or gas meter, **please call the Water Department to set up an appointment for the meter installations.**

NOTE: This summary is to assist in answering frequently asked questions regarding sanitary sewer and water services. This should not be considered the entire construction standard for the City of Buffalo. If you require further information, or have additional questions please contact:

Water Department		763-684-5432
Bolton and Menk	City Engineer	320-231-3956
Metro West	Building Inspector	763-479-1720



CITY OF BUFFALO SPECIFICATIONS FOR UNDERGROUND ELECTRICAL DISTRIBUTION TO INDUSTRIAL, COMMERCIAL, RESIDENTIAL STRUCTURES AND SUBDIVISION DEVELOPMENT

Temporary Electrical Service:

1. If electric distribution service has been installed to the property line:
 - a. The Builder's electrician may install a temporary service in accordance with NEC requirements and City specifications. The Builder will be charged a connection fee of \$75.00 when the temporary service is connected and billed on the first utility bill.
2. If a temporary extension of the electrical distribution system is required:
 - a. The Builder or Developer shall request the extension from the Utilities Director.
 - b. If the Utilities Director determines that the extension project is feasible, the City shall draft a cost estimate which is to be signed by all applicable parties prior to installation of the temporary extension.

*Certificate of Occupancy permits WILL NOT be issued for any structure being served with temporary facilities.

Permanent Underground Electrical Service:

1. Electrical service shall be installed in accordance with NEC requirements and City specifications.
2. If electrical primary service is to be installed into the property with a pad mount transformer near the building, contact the Utilities Director to make arrangements for service installation.
3. The Developer, General Contractor or property owner will be charged 50% of the cost of these facilities upon completion of the work. Any contracted or site specific special construction needs or equipment, such as directional borings, jet cranes, etc. will be billed at a 100%. The City shall draft a cost estimate which is to be signed by all applicable parties prior to installation.
4. The contractor shall provide and install the concrete transformer pad and any secondary wiring, including the connections within the transformer.

*A copy of the Minnesota State Board of Electricity permit MUST be provided to the City of Buffalo Electric Department prior to the energizing of a service.

Electrical Metering:

1. All meter sockets shall meet City specifications for the type of service being metered and shall be furnished and installed by the electrical contractor.
2. If current transformers (CT's) are required, the City will provide them. The CT compartment shall be furnished and installed by the electrician, who shall also install the CT's.
3. Electric meters and CT wiring shall be furnished and installed by the City.

Frost Conditions:

In general, the City will not install underground electric facilities during the months when frost exists or when a freeze-thaw cycle is occurring. However, when circumstances exist that require such installation, the Utilities Director will determine one of the following:

1. Install temporary overhead facilities to provide power to only those structures that will be constructed during the winter. (see Temporary Electrical Service above.)
2. Install permanent underground electric facilities, using frost breaking equipment, after completion of curb and gutter, grading, and installation of lot corners (see Site Requirements above.) The service requester will then pay additional winter construction charges of one of the following options:
 - a. Option I: An additional per lineal foot charge of \$5.00 per foot over and above the normal summer construction costs.
 - b. Option II: Any contracted or site specific special construction needs or equipment such as directional borings will be billed at a 100%.
3. Postpone installation until the next spring.
4. A workable combination of 1, 2, and/or 3 above.

CERTIFICATE OF GRADING CITY OF BUFFALO

SITE ADDRESS: _____

DATE OF INSPECTION: _____

I am a duly registered land surveyor, under the laws of the State of Minnesota. I hereby certify that an inspection of this property was conducted by myself or under my direct supervision and the following items are in conformance with the approved grading plan. If there are any exceptions, they must be approved by the Engineering Department prior to the submittal of this certificate.

1. Spot elevations as shown on the AS-BUILT grading plan and AS-BUILT certificate of survey is within two tenths of a foot (+/- 0.2 feet).
2. Lot grades and drainage patterns generally conform to those shown on the as-built grading plan.
3. The elevation of the building and the foundation type are in general accordance with the city approved grading plan.
4. Iron monuments are in place in each lot corner.

Signed _____

Firm Name _____

Registration No. _____

Date _____

Approved grading plans should be obtained from the property owner or developer. For general questions about certification or if grading to the approved plan is not practical or possible, call (763) 682-1181 and ask for the Engineering Department.

Engineering Dept Notes: _____

Engineering Signature _____ Date _____

Misc. Notes: _____

Signature _____ Date _____